

Industrial buildings within development land in Rentis, Eleonas, strategically located close to major road axis(E75, Piraeus port and Athens CBD)

Property Highlights

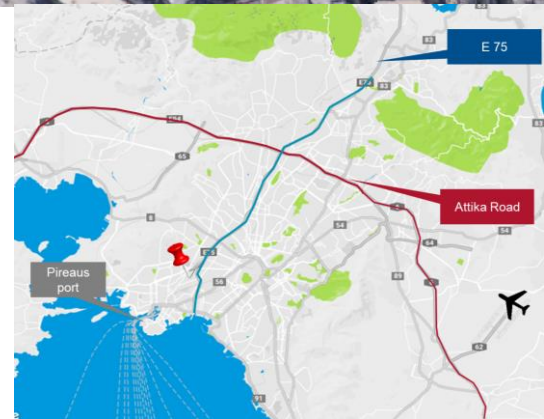
The opportunity consists of 17.708,58 sqm land within Eleonas area, of Nikaia - Agios Ioannis-Rentis municipality, in the southwest Urban area of Athens. Within the land there are two main warehouse buildings, 2.526 sqm and 1.303 sqm respectively, two large tanks sets, two small size obsolete auxiliary buildings and a residence, most of vacant possession. The total building size is 3.943 sqm constructed in stages between 1950 to 1975. According to the Urban planning study of the area, part of the property sits outside the new building block & the remaining within the building block land size is 17.331,42. The land can be developed only subject to completion of an implementation act.

Land size estimations	Sqm
Initial land size	17.708,58
Land size after expropriations	17.331,42
Obligatory land contribution (theoretical)	6.583,43
Minimum remaining land (theoretical estimation)	11.130,76

Area Amenities

The asset is located in Eleonas Area at a strategic position between Athens City Center and the port of Piraeus, about 5 km west of central Athens and 3 km northeast of Piraeus. The area benefits from the following:

- Direct access to the National Road of Athens Lamia(E75) at immediate proximity to the railway network (350m from Rentis station).
- Olympiakos FC training center and Olympiacos Volleyball stadium are located in the immediate area.
- Wider area is characterized by light industrial, logistics and sport related facilities.
- Important Urban Projects are scheduled for Eleonas area including the construction of 34.000-seat Panathinaikos football stadium, sports facilities of 7.500 sqm, a basketball court and a shopping Mall with several public infrastructure investments.



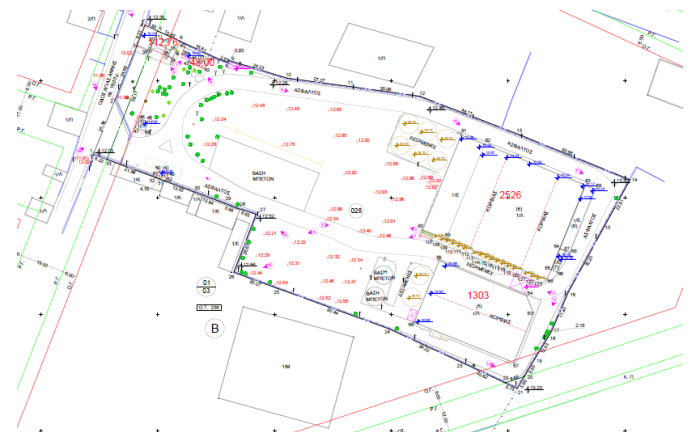
Investment Highlights

- ✓ Excellent access to main road axis
- ✓ Excellent access by mass transportation
- ✓ Immediate access to centre of Athens, port of Piraeus, E75 and Aspropyrgos
- ✓ In a regeneration area
- ✓ Several big projects and road infrastructure investments in the area
- ✓ Large land size in a single owned plot
- ✓ Institutional vendor
- ✓ Close to the central market of Athens
- ✓ Large land size
- ✓ Growing logistics market

Building regulations (P.D. 20-09-1995 Gov. Gaz 1049Δ/30-11-1995)	
General	The final limits of ownership will be determined after the ratification of the final implementation act. It is par and will become buildable after the ratification of the final implementation act. It is located within the city plan of the Municipality of Nikaia-Agios Ioannis Rentis and falls under the provisions of Law 1337/83 on contributions to land and money.
Land Use	Area B Eleonas. Permitted uses: Shops, Offices, Banks, Insurance, Public organizations, Administration, Restaurants, Audience aggregation spaces, Entertainment, Leisure centres, Wholesale facilities, Storage Buildings, Trade fair facilities, Petrol and gaz stations, Parking buildings, Social welfare buildings, Legally existing light and medium industrial and crafting units
Min size of buildable land	2.000 sqm./min 25 m. façade
Implementation Act	Upon entering into urban plan the asset is subject to land and money contribution. The theoretical maximum contribution of the property is 6.587,17 sqm. The exact area will be determined by the implementation act. If there is a difference between the theoretical and the final contribution, the difference will be converted into money contribution.
Building Coefficient	0,8
Total buildable area	Minimum 8.904,68 sqm
Coverage Coefficient	50% for industrial-crafting buildings, 40% for other uses
Minimum Building Coverage Area	5.565,30 sqm. for industrial buildings 4.452,30 sqm for other uses
Max. Height	14 m. (18m. For special buildings) according to Greek building standards
Building side lines	15m. from plot boundary/9m. from centerline of adjacent streets
Other restrictions	<ul style="list-style-type: none"> It is obligatory the construction of more than one building or facilities in plots larger than 6.000 sqm. Compulsory planting of land is required 20% (for 50% coverage) or 30% (for 40% coverage) Compulsory parking spaces required



Topographic plan



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FOR SALE

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